

TOWN & COUNTRY
ESTATES



9 Magnolia Rise, Trowbridge, Wiltshire, BA14 7SJ

Offers Over £350,000

LOCATION

The property is situated on the popular Lavender fields development is within easy walking distance of local shops and entertainment amenities, the Town Centre. with ready access to pleasant countryside walks

DESCRIPTION

PRICED TO SELL! This spacious four bedroom detached family home is tucked away in corner of a cul-de-sac and comes to the market with **NO ONWARD CHAIN!** Being the former show home on the Lavender Fields development, the property benefits from a generous plot size, with spacious rear garden and ample driveway parking. The accommodation comprises of entrance porch, lounge, dining room, kitchen, utility room and a cloakroom. On the first floor there is a master bedroom with en-suite, three further good size bedrooms and a family bathroom. Further benefits to the property include ample driveway parking, double garage and UPVC double glazing.

ENTRANCE HALL

You enter the property via a UPVC front door into the entrance hall where there are doors leading to cloakroom, living room and kitchen, stairs to first floor with storage under and radiator.

CLOAKROOM

The cloakroom has a UPVC double glazed window to side aspect, Closed couple W/C, pedestal wash basin, fitted wall cupboard and radiator.

LIVING ROOM

15'7" x10'0"

The pleasant living room has a UPVC double glazed window to side aspect and glazed double doors opening to into the dining room, making it an excellent space to entertain, There is also gas fire with wooden surround and radiator.

KITCHEN

12'4" x9'0"

There is a UPVC double glazed window to front aspect, matching base and wall units with rolled top worksurfaces, inset sink with chrome mixer tap, built in double oven, inset gas hob with extractor overhead, space for undercounted fridge and dishwasher, tiled splash backs, radiator and doors to dining room and utility.

DINING ROOM

13'4" x9'6"

The spacious dining room fits a large dining room table, there are sliding patio doors leading to garden, glazed double doors to living room and radiator.

UTILITY ROOM

3'11" x 7'8"

The utility room has matching base and wall units with rolled top work surfaces, inset sink, tiled splash backs, space for washing machine and tumble dryer or undercounted freezer, radiator and glazed panel door leading to patio area and rear garden.



FIRST FLOOR LANDING

There is a UPVC double glazed window to front aspect letting in ample natural light into the landing area. There are doors leading to all bedrooms, family bathroom and airing cupboard, loft access and radiator.

MASTER BEDROOM

13'0" x 9'0"

The master bedroom has a UPVC window to side aspect, built in wardrobe with additional overhead storage, door to en-suite and radiator.

EN-SUITE

There is a UPVC obscure double glazed window, closed couple w/c with dual flush, pedestal wash basin with chrome mixer tap, obscure glazed shower cubicle, tiled splash backs, fitted wall cupboard and radiator.

BEDROOM TWO

11'5" x 9'1"

The second bedroom has a UPVC double glazed window to side aspect to rear overlooking the rear garden and radiator.

BEDROOM THREE

8'0" x 9'11"

The dual aspect third bedroom has UPVC double glazed windows letting in tons of natural light and radiator.

BEDROOM FOUR

7'4" x 9'8"

There is a UPVC double glazed window to front and radiator.

FAMILY BATHROOM

The family bathroom has an obscure double glazed window to front, paneled bath with shower overhead, pedestal wash basin, closed couple W/C, fitted wall cupboard and radiator.

EXTERIOR

FRONT

To the front of the property there is a front garden mainly laid to lawn with a selection of shrubs and plants on both sides of private driveway. there is a paved pathway leading to front door, storm porch, external light, parking for 4 + cars and access to double garage.

REAR

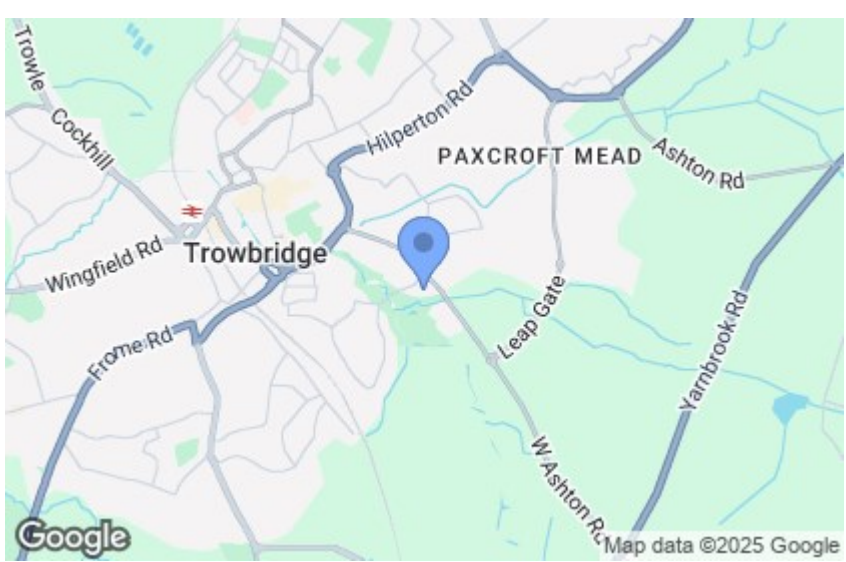
The private rear garden is mainly laid to lawn with a selection of shrubs and mature tree's, a paved patio area, outside tap and gated side access to front.

DOUBLE GARAGE

The double garage has two up and over doors, the generous size garage also has full light and power.

ADDITIONAL INFORMATION

COUNCIL TAX BAND - D







GROUND FLOOR
492 sq.ft. (45.7 sq.m.) approx.



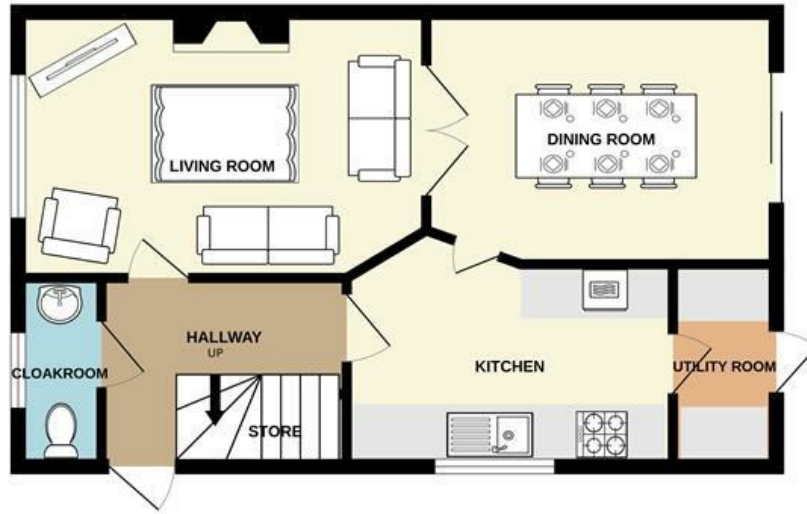
1ST FLOOR
498 sq.ft. (46.3 sq.m.) approx.



TOTAL FLOOR AREA : 990 sq.ft. (92.0 sq.m.) approx.

For illustrative purposes only. Decorative finishes, fixtures, fittings and furnishings do not represent the current state of the property. Measurements are approximate. Not to scale.
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Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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